



**DEVELOPMENT VARIANCE PERMIT NO. DVP00487**

**LORETTA JANET IRISH  
Owner(s) of Land (Permittee)**

**5100 FILLINGER CRESCENT  
Civic Address**

1. This development variance permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied by this permit.
2. This permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 11, DISTRICT LOT 54, WELLINGTON DISTRICT, PLAN 16374  
PID NO. 004-083-008**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit, and any plans and specifications hereto shall form a part thereof.

**Schedule A Subject Property Map**

**Schedule B Site Survey**

**Schedule C Fence Elevation**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit prevails over the provisions of the bylaw in the event of conflict.
6. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

**TERMS OF PERMIT**

The "City of Nanaimo Bylaw Zoning 2011 No. 4500" is varied as follows:

1. *Section 6.10.2 Fence Height* – to increase the maximum allowable combined height for a retaining wall and fence within the flanking side yard setback from 1.8m to 3.15m, as proposed.

**CONDITIONS OF PERMIT**

1. The subject property shall be developed in accordance with the Site Survey, prepared by McElhanney, dated 2024-NOV-19, as shown in Schedule B.
2. The subject property shall be developed in accordance with the Proposed Fence Elevation, prepared by McElhanney, dated 2025-FEB-27, as shown in Schedule C.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 15TH DAY OF DECEMBER, 2025.

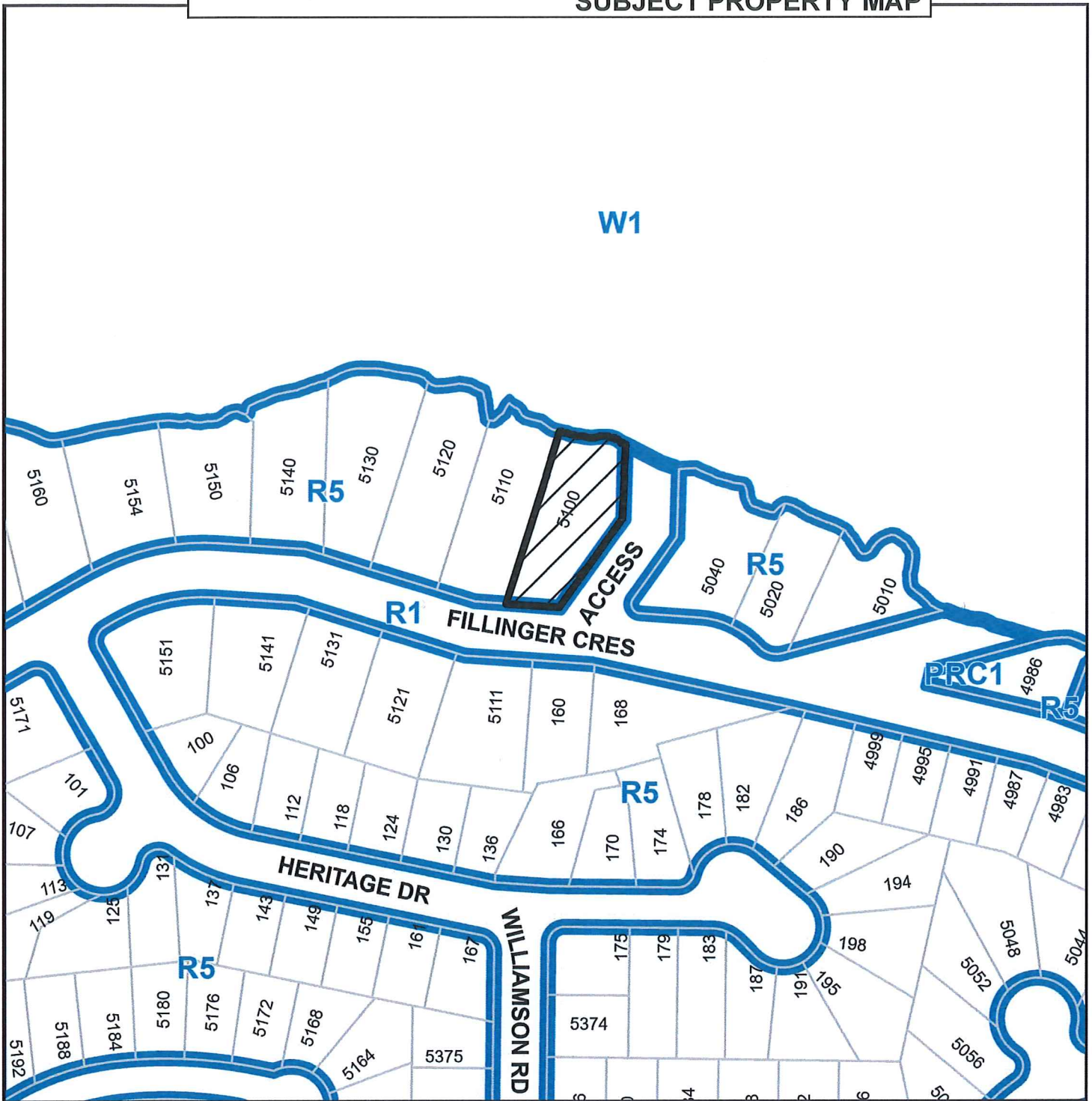


Corporate Officer



Date

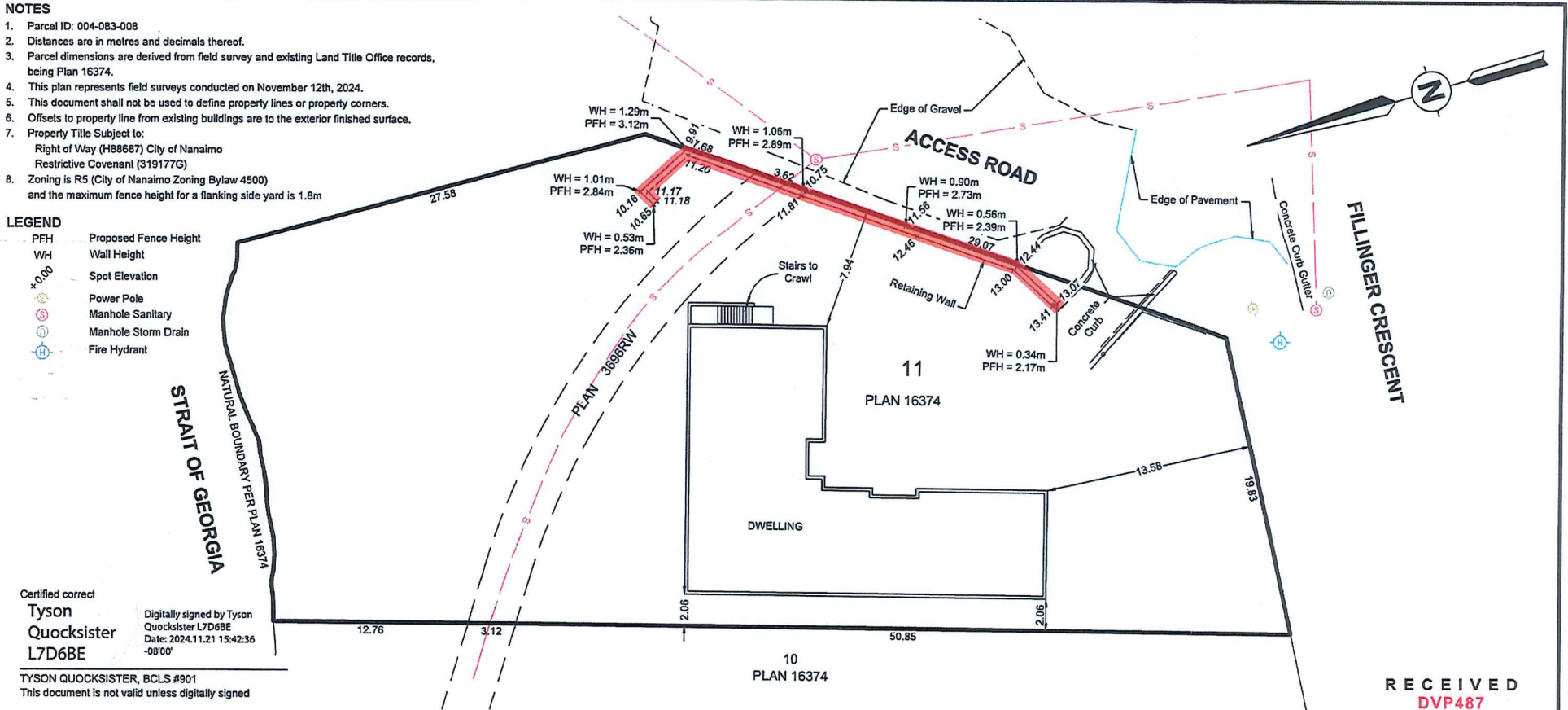
**SUBJECT PROPERTY MAP**



 5100 FILLINGER CRESCENT

Development Variance Permit No. DVP00487 Schedule B  
 5100 Fillinger Crescent  
**SITE SURVEY**

FILE: Z:\Proj-Active\Nanaimo 223200355-27 5100 Fillinger Cres - Legal Survey - Insh10.0 Drawings\10.1 Active\Civil\22320035527-V-SKCH-001  
 DESTROY ALL PRINTS BEARING PREVIOUS REVISION



RECEIVED  
 DVP487  
 2025-AUG-21  
 Current Planning

Elevations were derived from Geodetic Control Monument 79H9252, Elevation 17.355 and referenced to CGVD28 using HT2.0 geoid.

Original Drawing Size: (279mm x 432mm)

This plan is prepared solely for a limited contractual use between McElhanney Associates and our client.  
 This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.  
 The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.



Suite 1, 1351 Estevan Road,  
 Nanaimo BC V9S 3Y3  
 Tel.  
 250-716-3336

**RUSS IRISH**

**SKETCH PLAN SHOWING RETAINING WALL  
 AND PROPOSED FENCE  
 5100 Fillinger Crescent  
 Nanaimo, BC**

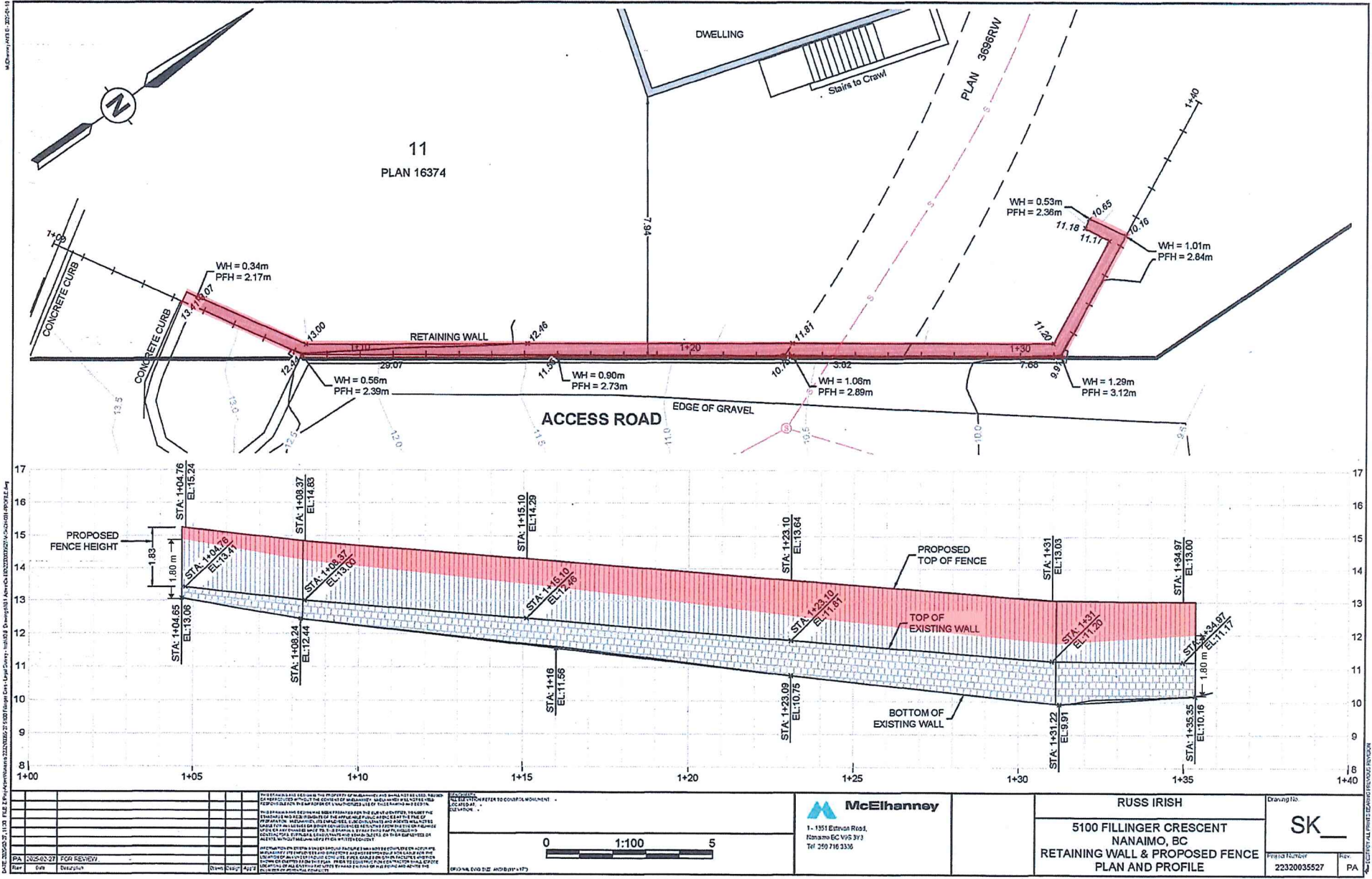


**SCALE 1:250**  
 UNLESS OTHERWISE NOTED

REV	DATE	DESCRIPTION	DR	AP
0	Nov 19, 2024	Plan Issued	—	—
<b>REVISIONS</b>				

PLAN ID.: 22320035527-V-SKCH-001

FENCE ELEVATION



RECEIVED  
DVP487  
2025-AUG-21  
Current Planning